

IN RE: PETITION FOR SPECIAL HEARING  
SE/S Philadelphia Rd., 902 ft.  
NE of Raphael Road

11th Election District  
5th Councilmanic District  
Legal Owner: BG& E Co., Inc.  
Lessee: SBC Communications Inc.,  
d/b/a Cellular One, Petitioner

\* BEFORE THE  
\* ZONING COMMISSIONER

\* OF BALTIMORE COUNTY

\* Case No. 97-411-SPH

\*

\* \* \* \* \*

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner as a Petition for Special Hearing for the property located on the southeast side of Philadelphia Road, 902 ft. northeast of Raphael Road, in northeastern Baltimore County. The Petition was filed by Baltimore Gas & Electric Company, property owner and SBC Communications, Inc., d/b/a as Cellular One, Lessee. Special Hearing relief is requested to approve certain modifications to the Order and site plan approved in special exception case No. 85-358. These modifications propose an addition of an antenna array to the existing monopole tower, the installation of an addition of a 12 x 26 ft. equipment building, the construction of a 4 ft. x 12 ft. concrete pad, and the extension of the existing gravel base and chain link fence around the proposed improvements. The subject property and both existing and proposed improvements thereon are more particularly shown on the plat to accompany the Petition for Special Hearing received as Petitioner's Exhibit No. 1.

Appearing at the requisite public hearing held for this case was David S. Webster, an engineer with Gutschmick, Little and Weber, P.A., the entity which drafted the plan. Also present was Adnan Y. Basrai, a Radio Frequency Engineer employed by Cellular One. The Petitioner was represented by Karl J. Nelson, Esquire. There were no Protestants or other interested persons present.

ORDER RECEIVED FOR FILING  
Date 5/20/97  
By M. Horak

The subject property is approximately 139.14 acres in area, zoned R.C.5. It is an irregularly shaped tract which is situated adjacent to the John F. Kennedy Memorial Highway (I-95) near Raphael Road and the Gunpowder Falls in northeast Baltimore County. The property is owned by Baltimore Gas & Electric Company.

In 1985, the Baltimore Gas and Electric Company leased an area of the property to Bell Atlantic Mobile Systems for construction of a monopole and installation of wireless communication equipment. The pole was later constructed and is in use at the present time. Under the instant Petition, Cellular One seeks approval to amend the Order previously issued, in order to allow its equipment to be added to the site. The additional equipment to be installed includes antennas on the pole as well as a small equipment building and concrete pad at the base thereof.

This Zoning Commissioner is familiar with the technology employed by Cellular One and the need for antenna sites within the company's network. This office has entertained numerous cases in the recent past from companies such as Cellular One and its competitors. These cases reflect the expansion of infrastructure necessary to support the wireless communication services being offered to the public, including mobile phone, fax, etc.

The Baltimore County Zoning Regulations (BCZR) require, within Section 502.7.C.1, that any Petitioner seeking approval to install wireless communication and receiving equipment shall conduct a search to determine existing sites appropriate for installation. In fact, the proposal presented in this case is entirely consistent and appropriate with that requirement. Rather than seek approval to erect a new pole, Cellular One has apparently entered into an agreement with BG&E Company to locate its equipment on the existing pole. Obviously, this is desirable under the zoning regulations and appropriate for the surrounding community. There

ORDER RECEIVED FOR FILING  
Date 5/20/97  
By M. J. [Signature]

will not be a second pole constructed, merely a more intensive use of the existing pole.

The testimony and evidence presented was overwhelmingly persuasive that the Petition for Special Hearing should be granted. In my judgment, there will be no adverse impact on the community occasioned by the use of the site by both Bell Atlantic and Cellular One. As noted above, the use of the same property and pole by both companies is desirable.

In granting the relief requested, it is to be noted that the prior Order contained many restrictions and limitations upon the use of the site. Apparently, that Order was issued prior to the enactment of Section 502.7 of the BCZR by County Council and the conditions imposed were designed to protect the community in absence of any zoning regulations at that time. Those conditions shall remain in full force and effect. Moreover, the Petitioner, in this case, is subject to the requirements set forth in Section 502.7.C.4, 6, 7, 8 and 9 of the BCZR.

Pursuant to the advertisement, posting of the property, and public hearing on this Petition held, and for the reasons given above, the relief requested should be granted.

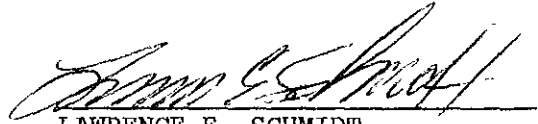
ORDER RECEIVED FOR FILING  
Date 5/20/97  
By M. G. G. G. G.  
THEREFORE, IT IS ORDERED by the Zoning Commissioner of Baltimore County this 20<sup>th</sup> day of May 1997 that, pursuant to the Petition for Special Hearing, approval for modifications to the Order and site plan approved in special exception case No. 85-358 including the addition of an antenna array to the existing monopole tower, the installation of an addition of a 12 x 26 ft. equipment building, the construction of a 4 ft. x 12 ft. concrete pad, and the extension of the existing gravel and chain link fence around the proposed improvements, all as more particularly shown on Petitioner's Exhibit No. 1, be and is hereby GRANTED, subject, however, to the following restrictions:

1. The Petitioner is hereby made aware that proceeding at this time is at its own risk until

such time as the 30 day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioner would be required to return, and be responsible for returning, said property to its original condition.

2. The proposed equipment and use of this site shall be in compliance with Sections 502.7.C.(4), (6), (7), (8), and (9) of the BCZR.

3. All other conditions and restrictions as set forth in case No. 85-358 shall remain in full force and effect.



LAWRENCE E. SCHMIDT  
Zoning Commissioner  
for Baltimore County

LES:mmn

ORDER RECEIVED FOR FILING  
Date 5/20/97  
By M. Howard



Baltimore County  
Zoning Commissioner  
Office of Planning and Zoning

Suite 112, Courthouse  
400 Washington Avenue  
Towson, Maryland 21204  
(410) 887-4386

May 19, 1997

Karl J. Nelson, Esquire  
Kramon and Graham, P.A.  
One South Street, Suite 2600  
Baltimore, Maryland 21202

RE: Petition for Special Hearing  
Case No. 97-411-SPH  
Property: SE side of Philadelphia Rod, 902 ft. NE Raphael Road

Dear Mr. Nelson:

Enclosed please find the decision rendered in the above captioned case. The Petition for Special Hearing has been granted with restrictions.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days of the date of the Order to the County Board of Appeals. If you require additional information concerning filing an appeal, please feel free to contact our Appeals Clerk at 887-3391.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Lawrence E. Schmidt".

Lawrence E. Schmidt  
Zoning Commissioner

LES:mmn  
att.

- c: Mr. Adnan Y. Basrai c/o Cellular One, 7150 Standard Drive, Hanover, Maryland, 21076
- c: Mr. Stephen C. Roth, Director of Real Estate, BG& E Company  
Tax Accounting Unit, P.O. Box 1475, Baltimore, MD. 21203
- c: Mr. David S. Weber, c/o Gutschmick, Little & Weber, P.A., 3909  
National Drive, Suite 250, Burtonsville, Md. 20866



RE: PETITION FOR SPECIAL HEARING	*	BEFORE THE
SE/S Philadelphia Rd, 902' NE of Raphael Rd		
11th Election District, 5th Councilmanic	*	ZONING COMMISSIONER
Legal Owner(s): Baltimore Gas & Electric	*	OF BALTIMORE COUNTY
Petitioner: SBC Communications, Inc.,		
d/b/a Cellular One	*	CASE NO. 97-411-SPH
Petitioner		
* * * * *		

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

*HRGS. TUES. 5/6*

Peter Max Zimmerman  
PETER MAX ZIMMERMAN  
People's Counsel for Baltimore County

Carole S. Demilio  
CAROLE S. DEMILIO  
Deputy People's Counsel  
Room 47, Courthouse  
400 Washington Avenue  
Towson, MD 21204  
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 14<sup>th</sup> day of May, 1997, a copy of the foregoing Entry of Appearance was mailed to Karl J. Nelson, Esq., Kramon & Graham, 1 South Street, Suite 2600, Baltimore, MD 21202, attorney for Petitioners.

Peter Max Zimmerman  
PETER MAX ZIMMERMAN



# Petition for Special Hearing

to the Zoning Commissioner of Baltimore County

for the property located at

S/E side Philadelphia Road,  
902' NE Rapheal Road

which is presently zoned

R.C. 5

This Petition shall be filed with the Office of Zoning Administration & Development Management.

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve modifications to existing Special Exception No. 85-358, which was granted to permit Bell Atlantic Mobile Systems to lease a portion of the Baltimore Gas & Electric Co.'s property for the purpose of constructing a wireless transmitting and receiving facility. The modifications proposed are for the addition of an antenna array to the existing monopole tower, and for the addition of a 12'x26' equipment building, a 4'x12' concrete pad, and the extension of the existing gravel and chainlink fence around the new equipment building.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Hearing advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County

Petitioner:

~~XXXXXX XXXX XXXX~~

SBC Communications, Inc., d/b/a  
Cellular One

(Type or Print Name)

*Benny Suthar*  
Signature BENNY SUTHAR - ENGINEER

7150 Standard Drive

Address

Hanover, Maryland 21076

City

State

Zipcode

Attorney for Petitioner:

Karl J. Nelson, Esquire

(Type or Print Name)

*KJN*  
Signature

Kramon & Graham, P.A.

One South Street, Suite 2600

Baltimore, Maryland Phone No. 21202-3201

(410) 752-6030

City

State

Zipcode

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition

Legal Owner(s):

Baltimore Gas & Electric Co.

(Type or Print Name)

*Stephen C. Roth*  
Signature

STEPHEN C. ROTH.

(Type or Print Name) DIRECTOR OF REAL ESTATE

Signature

Tax Accounting Unit

P.O. Box 1475

NO PROSECUTION  
PER ATTY. Y

Address

Phone No

Baltimore, Maryland 21203

City

State

Zipcode

Name, Address and phone number of representative to be contacted.

Karl J. Nelson, Esquire

Kramon & Graham, P.A.

One South Street, Suite 2600

Baltimore, Maryland 21202-3201

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

unavailable for Hearing

the following dates

Next Two Months

ALL

OTHER

REVIEWED BY:

DATE

3/25/97



411

# GLW GUTSCHICK, LITTLE & WEBER, P.A.

**CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS**

3909 National Drive, Suite 250 • Burtonsville Office Park • Burtonsville, MD 20866

(301) 421-4024

Metro (301) 989-2524 Fax (301) 421-4186 Balto. (410) 880-1820

David S. Weber, P.E.<sup>1,2</sup>  
David L. Little P.E.  
Carlton K. Gutschick, P.E.

ASSOCIATES  
Thomas C. O'Connor, Jr., P.E.<sup>2</sup>

## DESCRIPTION OF A 2.000 ACRE PARCEL

### OF LAND AND

A FIFTEEN (15) FOOT RIGHT OF WAY OWNED BY  
BALTIMORE GAS AND ELECTRIC COMPANY AND LEASED TO  
BELL ATLANTIC MOBILE SYSTEMS FOR  
INSTALLATION OF A MONOPOLE ANTENNA

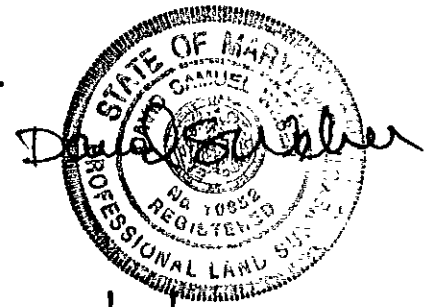
BEGINNING FOR THE SAME at a point distant 147 feet more or less in a Northwesterly direction from the intersection of Raphael Road as now laid out at varying widths with Philadelphia Road as now laid out sixty (60) feet wide, said point lying on the westernmost right-of-way line of Raphael Road; thence leaving said right-of-way line and running

1. South 59 degrees 28' 13" West 15.00 feet to a point; thence
2. North 30 degrees 31' 47" West 50.62 feet to a point; thence
3. South 61 degrees 53' 24" West 800.91 feet to a point; thence
4. South 60 degrees 09' 00" East 30.62 feet to a point; thence
5. South 29 degrees 51' 00" West 348.48 feet to a point; thence
6. North 60 degrees 09' 00" West 250.00 feet to a point; thence
7. North 29 degrees 51' 00" East 348.48 feet to a point; thence
8. South 60 degrees 09' 00" East 201.68 feet to a point; thence
9. North 61 degrees 53' 24" East 824.68 feet to a point on the westernmost right-of-way line of Raphael Road; thence running with said right-of-way line
10. South 30 degrees 31' 47" East 65.00 feet to the point of beginning.

Containing 2.2999 acres of land more or less.

TML/vcm

M&B:97001.321



3/21/97



# CERTIFICATE OF PUBLICATION

TOWSON, MD., April 14, 1977

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on April 14, 1977.

THE JEFFERSONIAN,

*A. Henrickson*

LEGAL AD. - TOWSON

## NOTICE OF HEARING

The Zoning Commission of Baltimore County is hereby notified that the following application for a Special Exception has been filed with the Planning and Zoning Department, 401 Broadway Avenue, Baltimore, Maryland 21201.

Case No. 4401-SER

SE/S Philadelphia Road, 902

NE of Raphael Road

11th Election District

SA Boardman

Legal Owners:

Baltimore Gas & Electric

Company

Petitioner:

SST Communications, Inc.,

d/b/a CellularOne

Special Hearing to approve

modifications to existing spe-

cial exception no. 18-352 ad-

dition of an antenna array,

addition of a 12 foot x 26 foot

equipment building, a 4 foot x

12 foot concrete pad, and the

extension of the existing gravel

and chainlink fence around the

new equipment building.

Hearing: Tuesday, May 16,

1977 at 2:30 p.m., 4th floor

hearing room, Courts Bldg.,

401 Broadway Avenue.

LAWRENCE E. SCHMIDT

Zoning Commissioner for

Baltimore County

NOTES: (1) Hearings are

Handicapped Accessible for

special accommodations.

Please Call 867-3353.

(2) For information concern-

ing the File and/or Hearing,

Please Call 867-3391.

4/198 April 10 C134083

BALTIMORE COUNTY, MARYLAND

OFFICE OF BUDGET & FINANCE

MISCELLANEOUS RECEIPT

JLL # A11

No.

037019

DATE 3/25/97 ACCOUNT R0016150

AMOUNT \$ 250.00

RECEIVED FROM: KERAMON L GRAHAM

FOR: NON RES SPH

TRIBUTION  
WHITE - CASHIER      PINK - AGENCY      YELLOW - CUSTOMER

CASHIER'S VALIDATION

# CERTIFICATE OF POSTING

RE: Case # 97-411-SPH

Petitioner/Developer:  
(SBC Communications, Inc.)  
Date of Hearing/~~Closing~~:  
(May 6, 1997)

Baltimore County Department of  
Permits and Development Management  
County Office Building, Room 111  
111 West Chesapeake Avenue  
Towson, Maryland 21204

Attention: Ms. Gwendolyn Stephens

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law  
were posted conspicuously on the property located at \_\_\_\_\_

\_\_\_\_ Located on Philadelphla Road (no address) , Baltimore, Maryland 21021 \_\_\_\_\_

The sign(s) were posted on \_\_\_\_\_ April 18, 1997 \_\_\_\_\_  
(Month, Day, Year)

Sincerely,

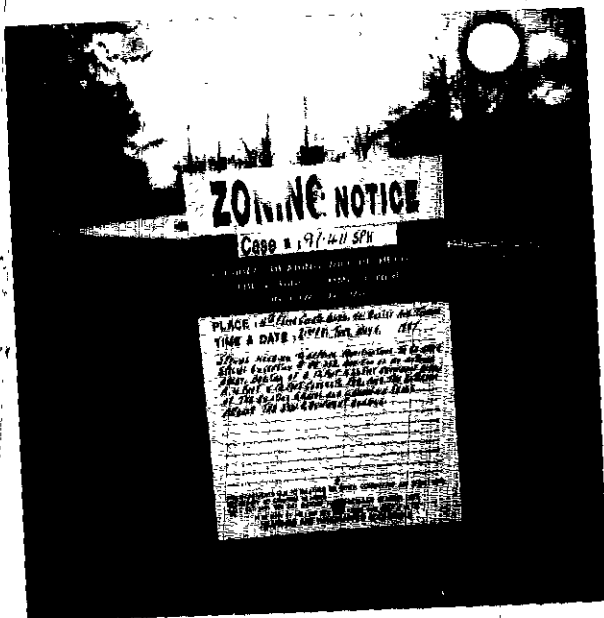
  
(Signature of Sign Poster & Date)

\_\_\_\_ Thomas P. Ogle, Sr. \_\_\_\_\_  
(Printed Name)

\_\_\_\_ 325 Nicholson Road \_\_\_\_\_  
(Address)

\_\_\_\_ Baltimore, Maryland 21221 \_\_\_\_\_

\_\_\_\_ (410)-687-8405 \_\_\_\_\_  
(Telephone Number)



97-411-SPH



Baltimore County  
Department of Permits and  
Development Management

Development Processing  
County Office Building  
111 West Chesapeake Avenue  
Towson, Maryland 21204

ZONING HEARING ADVERTISING AND POSTING REQUIREMENTS & PROCEDURES

Baltimore County zoning regulations require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of which, lies with the petitioner/applicant) and placement of a notice in at least one newspaper of general circulation in the County.

This office will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with this requirement.

Billing for legal advertising, due upon receipt, will come from and should be remitted directly to the newspaper.

NON-PAYMENT OF ADVERTISING FEES WILL STAY ISSUANCE OF ZONING ORDER.

\_\_\_\_\_  
ARNOLD JABLON, DIRECTOR

-----  
For newspaper advertising:

Item No.: 411

Petitioner: SBC Communications, Inc., d/b/a Cellular One

Location: S/E side Philadelphia Rd, 702' NE Raphael Rd.

PLEASE FORWARD ADVERTISING BILL TO:

NAME: Karl J. Nelson, Esquire

ADDRESS: Kramon & Graham

One South Street, Ste 2600 Baltimore MD 21202

PHONE NUMBER: 410-752-6030

AJ:ggs

(Revised 09/24/96)



# 411

Copied Down, Copying Given to Petitioners  
Ref. : A SPECIAL HEARING TO MODIFY AN EXISTING  
SPECIAL EXCEPTION (FOR A WIRELESS TRANSMITTING AND RECEIVING  
FACILITY) AS ORIGINALLY APPROVED IN ZOWINL CASE 85-358-X



Baltimore County  
Department of Permits and  
Development Management

Development Processing  
County Office Building  
111 West Chesapeake Avenue  
Towson, Maryland 21204

April 7, 1997

NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 97-411-SPH  
SE/S Phialdephia Road, 902' NE of Raphael Road  
11th Election District - 5th Councilmanic  
Legal Owner(s): Baltimore Gas & Electric Company  
Petitioner: SBC Communications, Inc., d/b/a Cellular One

Special Hearing to approve modifications to existing special exception no. 85-358, addition of an antenna array, addition of a 12 foot x 26 foot equipment building, a 4 foot x 12 foot concrete pad, and the extension of the existing gravel and chainlink fence around the new equipment building.

HEARING: TUESDAY, MAY 6, 1997 at 2:00 p.m., 4th floor hearing room, Courts Bldg., 401 Bosley Avenue.

A handwritten signature in black ink, appearing to read "Arnold Jablon". The signature is fluid and cursive, with a large, sweeping "J" and "B".

Arnold Jablon  
Director

cc: Baltimore Gas & Electric Co./Stephen C. Roth  
SBC Communications, Inc., dba Cellular One  
Karl J. Nelson, Esq.

- NOTES: (1) YOU MUST HAVE THE ZONING NOTICE SIGN POSTED ON THE PROPERTY BY APRIL 21, 1997.  
(2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL 887-3353.  
(3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THIS OFFICE AT 887-3391.





**Maryland Department of Transportation**  
**State Highway Administration**

David L. Winstead  
Secretary

Parker F. Williams  
Administrator

Ms. Roslyn Eubanks  
Baltimore County Office of  
Permits and Development Management  
County Office Building, Room 109  
Towson, Maryland 21204

RE: Baltimore County 4 . 4 . 27  
Item No. 411 J L L

Dear Ms. Eubanks:

We have reviewed the referenced item and we have no objection to approval, as a field inspection reveals the existing entrance(s) onto MD/US 7 are acceptable to the State Highway Administration (SHA) and this development is not affected by any SHA projects.

Please contact Larry Gredlein at 410-545-5606 if you have any questions.  
Thank you for the opportunity to review this item.

Very truly yours,

*L. J. Gredlein*  
for Ronald Burns, Chief  
Engineering Access Permits  
Division

LG

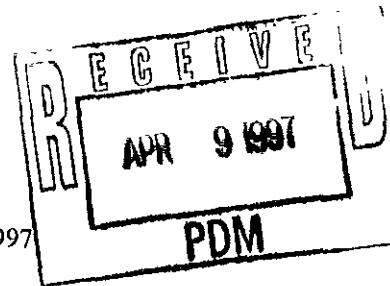
My telephone number is \_\_\_\_\_

Maryland Relay Service for Impaired Hearing or Speech  
1-800-735-2258 Statewide Toll Free

Mailing Address: P.O. Box 717 • Baltimore, MD 21203-0717  
Street Address: 707 North Calvert Street • Baltimore, Maryland 21202

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE



TO: Arnold Jablon, Director  
Permits and Development  
Management

DATE: April 7, 1997

FROM: Pat Keller  
Office of Planning

SUBJECT: Petitions from the Zoning Advisory Committee

The Office of Planning has no comments on the following petition(s):

Item Nos. 411, 416, 417, 421, and 424

Prepared by:

*Jeffrey W. Long*

Division Chief:

*Gary L. Kerns*

PK/JL

nocom.wps



BALTIMORE COUNTY, MARYLAND  
DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT  
INTER-OFFICE CORRESPONDENCE

TO: PDM

DATE: April 9, 97

FROM: R. Bruce Seeley *RS/gp*  
Permits and Development Review  
DEPRM

SUBJECT: Zoning Advisory Committee  
Meeting Date: April 7, 97

The Department of Environmental Protection & Resource Management has no comments for the following Zoning Advisory Committee Items:

Item #'s: 410 418  
          411 419  
                  422  
          414 421  
          417 424

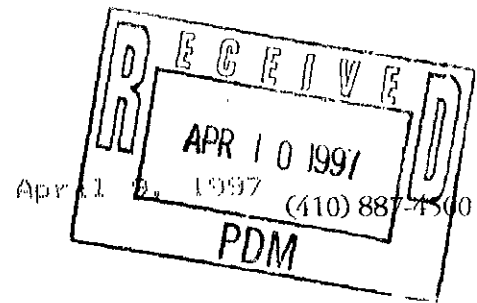
RBS:sp

BRUCE2/DEPRM/TXTSBP

Baltimore County Government  
Fire Department



700 East Joppa Road Suite 901  
Towson, MD 21286-5500



Arnold Jablon, Director  
Zoning Administration and Development Management  
Baltimore County Office Building  
Towson, MD 21204  
MAIL STOP-1105

RE: Property Owner: Baltimore Gas & Electric Company

Location: DISTRIBUTION MEETING OF APRIL 7, 1997

Item No.: 411                      Zoning Agenda:

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1991 edition prior to occupancy.

REVIEWER: LT. ROBERT P. SAUERWALD

Fire Marshal Office, PHONE 887-4881, MS-1105T

cc: File





TO: PUTUXENT PUBLISHING COMPANY  
April 10, 1997 Issue - Jeffersonian

Please forward billing to:

Karl J. Nelson, Esq.  
Kramon & Graham  
One South Street, #2600  
Baltimore, MD 21202  
752-6030

---

NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 97-411-SPH  
SE/S Philadelphia Road, 902' NE of Raphael Road  
11th Election District - 5th Councilmanic  
Legal Owner(s): Baltimore Gas & Electric Company  
Petitioner: SBC Communications, Inc., d/b/a Cellular One

Special Hearing to approve modifications to existing special exception no. 85-358, addition of an antenna array, addition of a 12 foot x 26 foot equipment building, a 4 foot x 12 foot concrete pad, and the extension of the existing gravel and chainlink fence around the new equipment building.

HEARING: TUESDAY, MAY 6, 1997 at 2:00 p.m., 4th floor hearing room, Courts Bldg., 401 Bosley Avenue.

LAWRENCE E. SCHMIDT  
ZONING COMMISSIONER FOR BALTIMORE COUNTY

NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL 887-3353.  
(2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, PLEASE CALL 887-3391.

# PETITION PROBLEMS

## **#411 --- JLL**

1. No sign form in folder (see note in folder).
2. No review information on bottom of petition form.

## **#413 --- MJK**

1. Sign form is incorrect/incomplete.

## **#415 --- MJK**

1. Need authorization for person signing for legal owner.
2. Need printed or typed name of person signing for contract purchaser.
3. Need printed or typed title of person signing for contract purchaser.
4. Need authorization for person signing for contract purchaser.

## **#416 --- JRA**

1. Wrong sign form used.

## **#417 --- MJK**

1. Sign form is incorrect/incomplete.
2. Need title of person signing for legal owner.
3. Need authorization for person signing for legal owner.

## **#418 --- JLL**

1. No sign form in folder (see note in folder).

PLEASE PRINT CLEARLY

PETITIONER(S) SIGN-IN SHEET

NAME

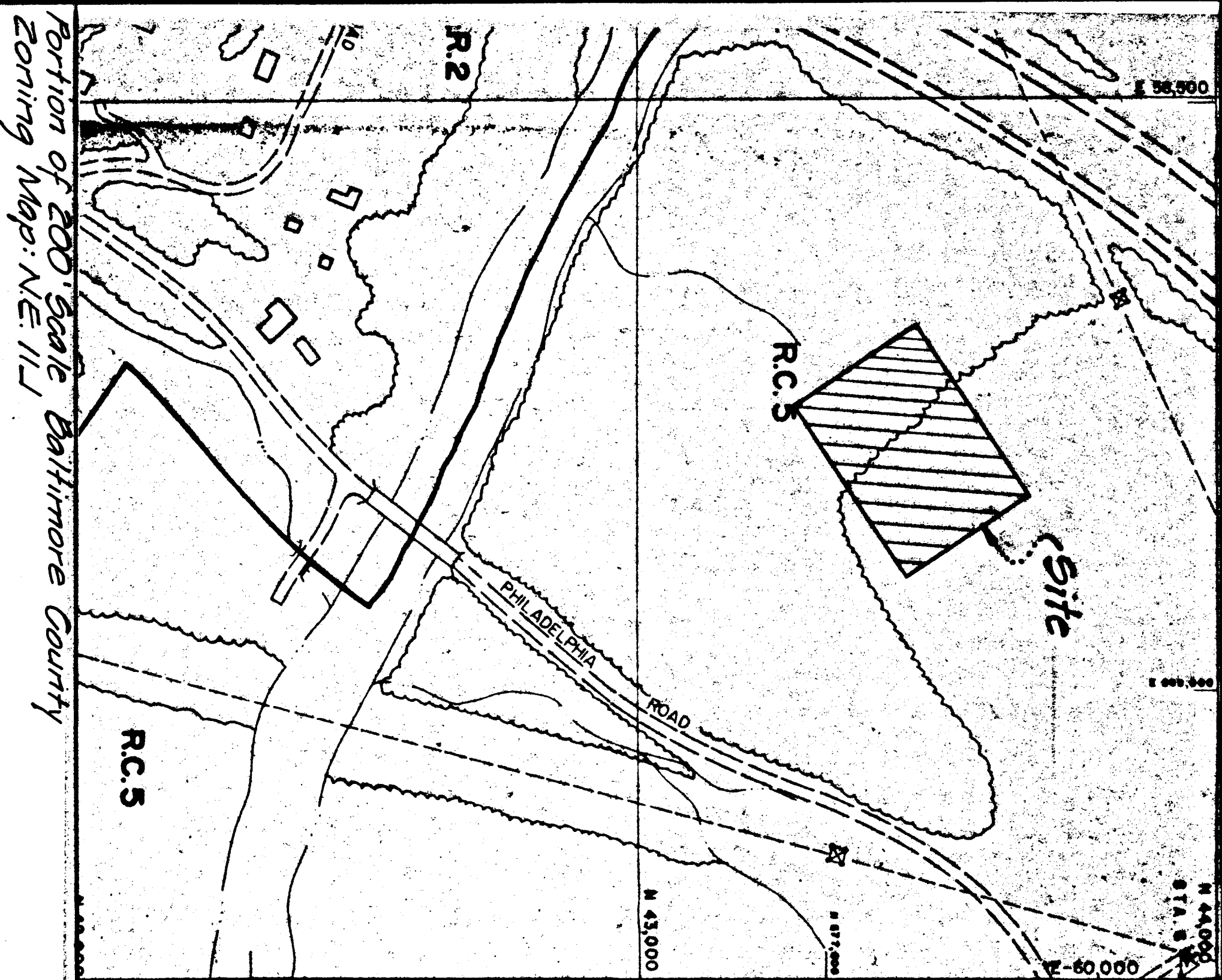
ADDRESS

DAVID S. WEBER (engineer)  
ADNAN Y. BASRAI  
RF ENGINEER }

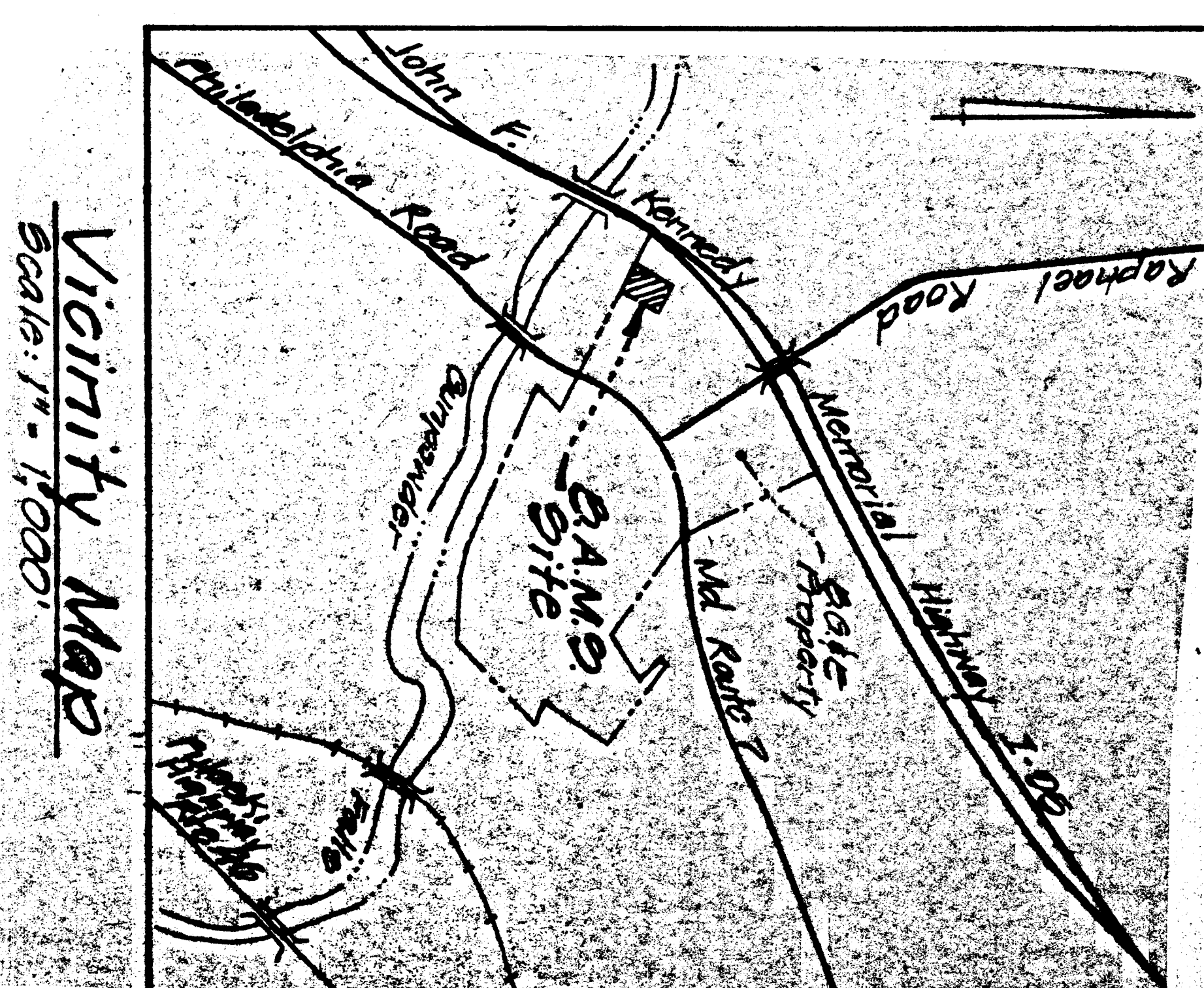
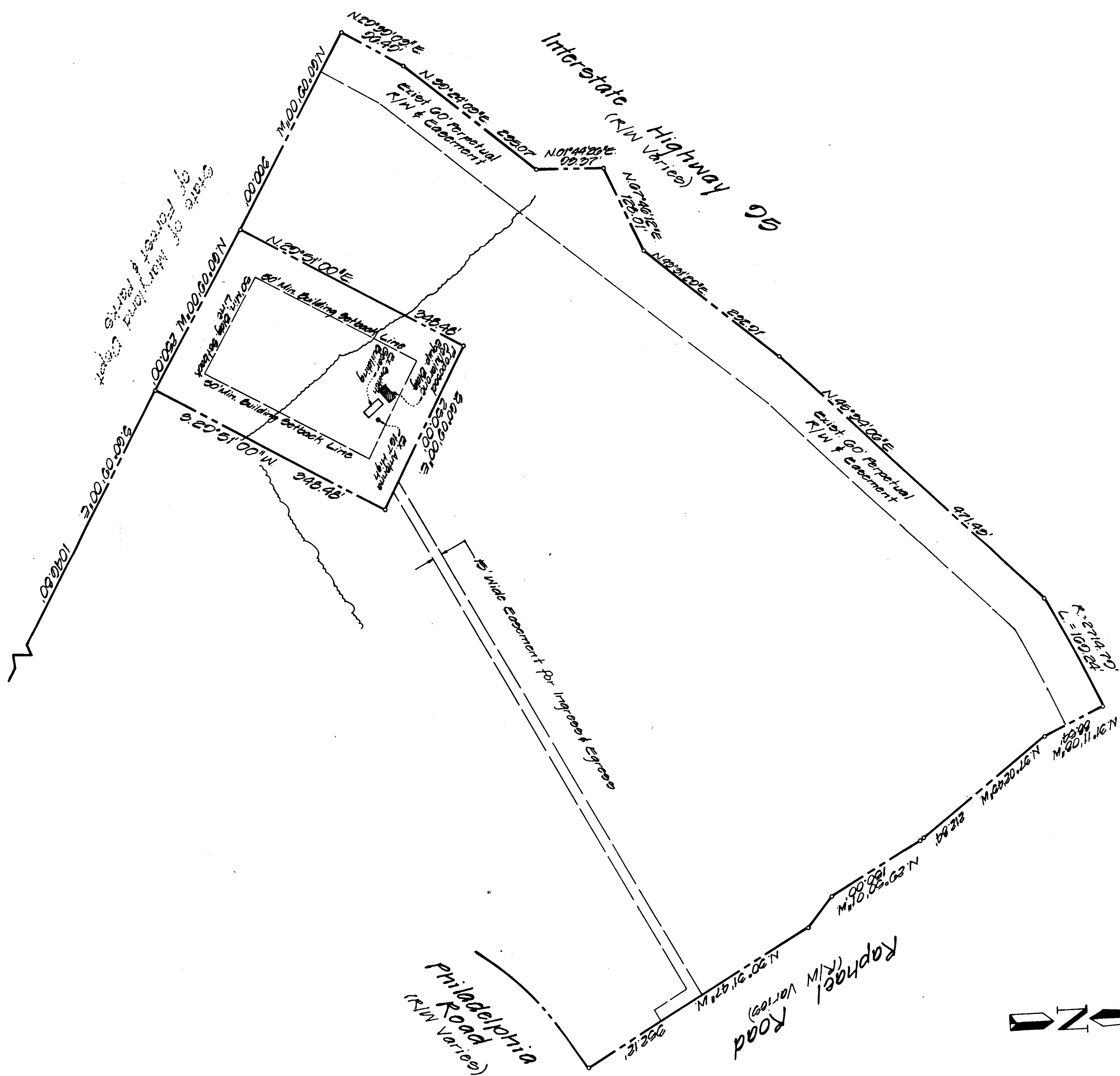
c/o GUTSCHICK, LITTLE & WEBER, P.A.  
3909 NATIONAL DR. SU. 250  
BURTONSVILLE, MD. 20866  
c/o Cellular One  
#0 7150 STANDARD DR.  
HANOVER MD 21076







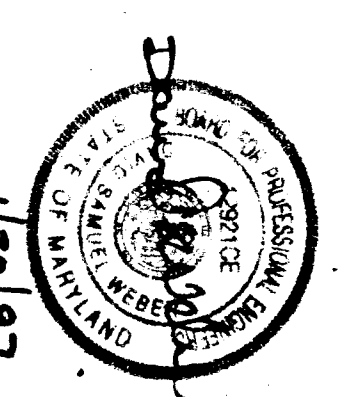
- CONDITIONS OF ZONING**
- THE EXISTING BUILDING AND RECEIVING FACILITY SHALL HAVE A MAXIMUM HEIGHT OF 175 FEET, INCLUDING ALL TOWER AND ANTENNA HEIGHTS. THE TOWER SHALL BE LOCATED WITHIN THE 175 FOOT HEIGHT LIMIT.
  - THE TOWER SHALL BE CONFINED TO THE 175 FOOT HEIGHT LIMIT AND SHALL NOT BE LIMITED BY SHORE LIGHTS UNLESS SPECIFICALLY REQUIRED BY THE BALTIMORE COUNTY ZONING ORDINANCE.
  - THE TOWER AND ACCESSORY BUILDING SHALL BE LOCATED WITHIN A LOCKED, CHAIN-LINKED FENCE AT LEAST 7 FEET HIGH. THE COLOR OF THE FENCE SHALL BE BLACK OR BROWN.
  - AT EACH TIME AS THE USE IS TERMINATED, THE TOWER SHALL BE REMOVED.
  - ALL PLANS SUBMITTED FOR REVIEW SHALL BE SIGNED BY A REGISTERED PROFESSIONAL ENGINEER QUALIFIED IN STRUCTURAL DESIGN. SAID ENGINEER SHALL SIGNIFY AND CERTIFY THE DESIGN COMPLIES BEFORE ANY CONSTRUCTION BEGINS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE TOWER AND ACCESSORY BUILDING. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE TOWER AND ACCESSORY BUILDING. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE TOWER AND ACCESSORY BUILDING.
  - THE TOWER SHALL BE PROPERLY DESIGNED TO MAINTAIN THE STABILITY OF THE TOWER.
  - THE EXISTING MONOPOLE AND ANTENNA DO NOT EXCEED 175 FEET AND WILL THE EXISTING ANTENNA.
  - THE TOWER IS UNLIMITED AND DOES NOT SUPPORT ANY LIGHTS.
  - THE EXISTING CHAIN LINK FENCE IS 7 FEET HIGH.
  - THE TOWER IS IN USE.
  - THE TOWER DESIGN WAS COMPLETED BY A PROFESSIONAL ENGINEER.
  - USE OF THIS TOWER IS LIMITED TO CELLULAR PHONE SERVICE.
  - THE TOWER HAS BEEN PROPERLY DESIGNED.



- GENERAL NOTES**
- APPLICANT: CELLULARONE  
100 STANFORD DRIVE  
ANNAPOLIS, MARYLAND 21406  
ATTN: JOHN HANER
  - PROPERTY OWNER: BALTIMORE GAS AND ELECTRIC COMPANY  
200 SOUTH MARYLAND AVENUE  
BALTIMORE, MARYLAND 21203
  - LEASE NUMBER: 150 SOUTH MARYLAND AVENUE  
BALTIMORE, MARYLAND, N.J. 07000
  - SITE ADDRESS: RAPHAEL ROAD AND PHILADELPHIA ROAD
  - SITE DATA:  
ZONED R.C.5 (BALT. CO. ZONING DIST. 11.1)  
BALTIMORE COUNTY ZONING DISTRICT: 11.1  
TAX MAP NO. 44-00000000  
LEGAL REFERENCE: 199-14 ACRES  
TRACT SIZE: 199-14 ACRES
  - THE EXISTING WIRELESS TRANSMITTING AND RECEIVING FACILITY WAS APPROVED IN SEPTEMBER 20, 1990 UNDER CASE NO. 80-5504. THE DIS APPROVED THE PROPOSED ADDITION OF RESEARCH 20, 1990 UNDER CASE NO. 80-5504.
  - THERE IS NO WATER OR SEWER EXISTING ON THIS SITE.
  - WATER AND SEWER FACILITIES ARE NOT REQUIRED FOR THE OPERATION OF THE PROPOSED USE.
  - THE PROPOSED WORK WILL INCLUDE THE ADDITION OF A 12' X 24' MONOPOLAR EQUIPMENT BUILDING, ANTENNAS, ADDITIONAL CABLE, AND MODIFICATION TO THE EXISTING CHAIN LINK FENCE TO ALLOW FOR THE ADDITION OF THE EQUIPMENT BUILDING.
  - NO LIGHTS OR SIGNS WILL BE PLACED ON THE MONOPOLAR UNLESS REQUIRED FOR AIRCRAFT WARNING OR OTHER SAFETY REASONS.
  - TOTAL DISTURBED AREA: 1,200 SQUARE FEET
  - THIS SITE DOES NOT LIE WITHIN A 100 YEAR FLOODPLAIN.
  - THIS SITE DOES NOT LIE WITHIN THE CRITICAL AREAS OR A RESERVE CONSERVATION AREA.
  - THE EXISTING FACILITY WAS CONSTRUCTED IN 1989 AND 1990. NO OTHER IMPROVEMENTS HAVE BEEN MADE TO DATE.
  - FLOOD AREA RATIO CALCULATION:  
EXISTING F.A.R.: BELOW 0.1  
PROPOSED F.A.R.: BELOW 0.1

PRINTED  
FEB 26 1997  
GUTSCHICK LITTLE & WEBER, P.A.

97-411-5014



<b>GW GUTSCHICK LITTLE &amp; WEBER, P.A.</b> CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3908 NATIONAL DRIVE, SUITE 250 • BURTONTOWN, MARYLAND 20866 TELEPHONE: (301) 421-4024 NO. VA. (301) 989-2524 BALTO. (301) 880-1820 FAX (301) 421-4185			
DATE	REVISION		
2-23-97	Added information for special hearing		
2-24-97	Approved by CNE (No. 020702)		
BY	APP'R.		
EO	TAL		
PREPARED FOR: <b>Cellularone</b> 7720 Standards Drive Hanover, Maryland 21076 Attn: John Haner			
Plan to accompany Building Permit Sheet 10f3 Overall Site Plan Property of <b>Baltimore Gas and Electric Company</b> Parcel 574 Eleventh Election District Baltimore County, Maryland			
DES. T.M.L.	SCALE	ZONING	G.L.W. FILE NO.
EO	1"=100'	RC-5	97-001
CHK:	DATE	TAX MAP NO.	SHEET
	January 1997	04	1 of 3



Before You Dig  
Call

MISS UTILITY

Service Protection Center

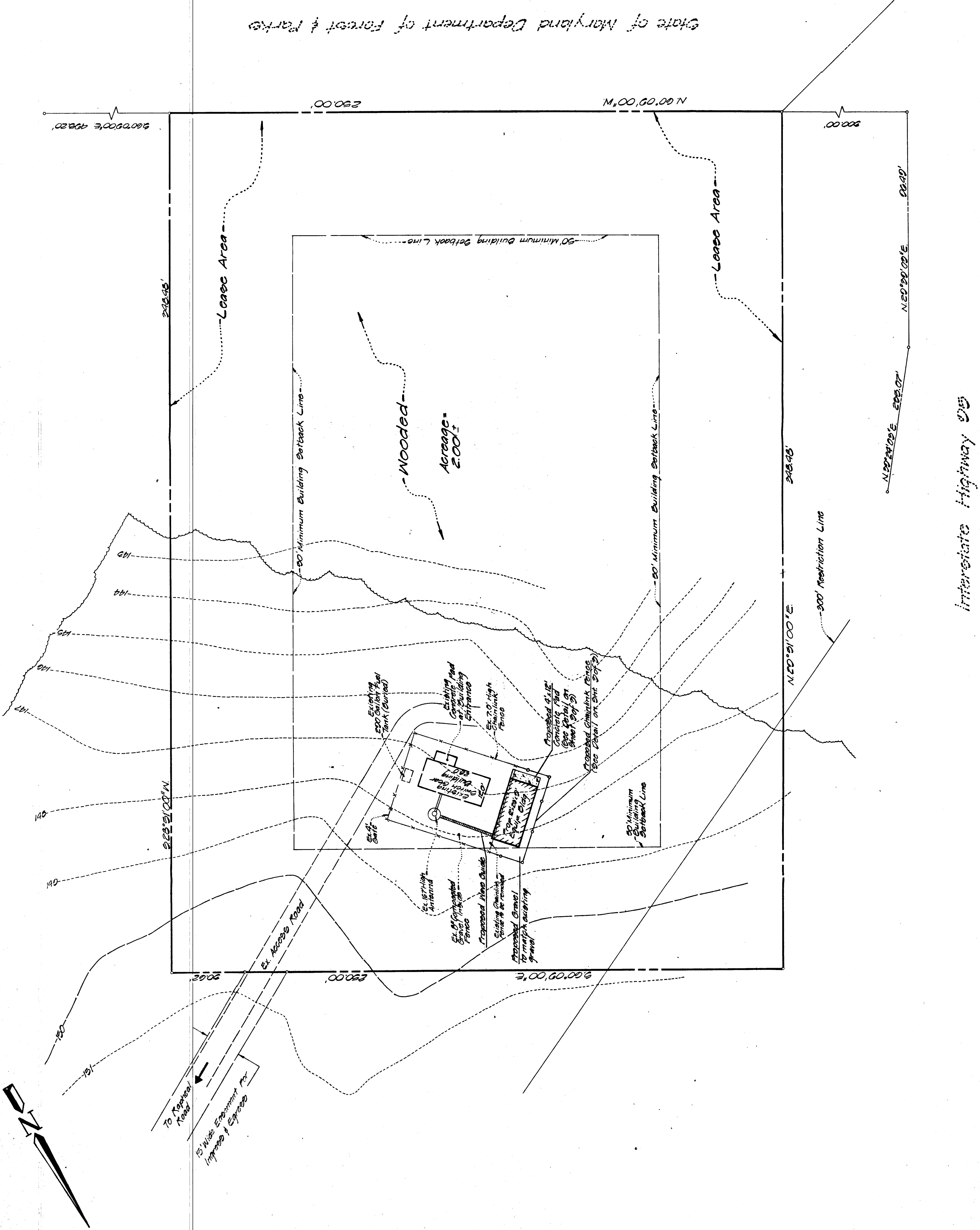
MEMBER

ONE CALL SYSTEM

CALL TOLL FREE

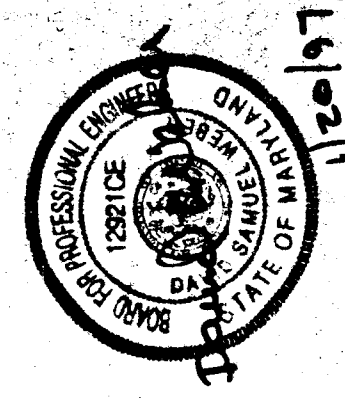
1-800-257-7777

- EXISTING UTILITY NOTES**
- For marking locations of existing utilities, notify "MISS UTILITY" at 1-800-257-7777, 48 hours prior to any excavation or construction.
  - Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and directions of the utilities by digging test pits by hand at all utility crossings and in advance of trenching. If a utility is located within the proposed excavation area, the contractor must stop work and notify the Engineer and the owner of the utility before proceeding with construction.
  - For field location of gas line services, notify Baltimore Gas and Electric Co. 410-551-5200, 48 hours prior to the start of any excavation or construction.
  - Obtain and/or additions of utility located during construction shall be the sole responsibility of the contractor. Little & Weber, P.A., shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
  - Due to the proximity of live underground and overhead utilities, we are not responsible for any damage, injury, fatalities or equipment used on or adjacent to the site.



State of Maryland Department of Forest & Parks

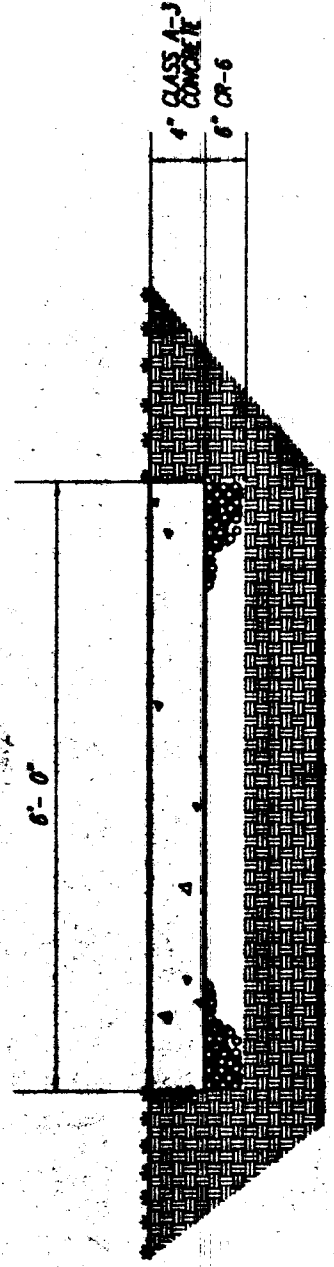
PRINTED  
FEB 2 5 1997  
GUTSCHICK LITTLE & WEBER, P.A.



Interstate Highway 295

Upper Falls Site No. 803		DES: TML	SCALE: 1"=20'	ZONING: RC-5	S.L.W. FILE NO.: 97-001
Property of <b>Baltimore Gas and Electric Company</b> Parcel 574		DRN: EB	DATE: January, 1997	TAX MAP NO.: 64	SHEET: 2 of 3
Eleventh Election District Baltimore County, Maryland		CHK: [blank]			
PREPARED FOR: CellularOne 7300 Stanford Drive Hanover, Maryland 21070 Attn: John Hamer		Plan to accompany Building Permit Sheet 2 of 2 Detailed Site Plan Sheet			
DATE: 2-24-97 APPROVED BY: [Signature] REVISION: [blank]		BY: [blank] APP: [blank]			
G.L.W. GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3809 NATIONAL DRIVE, SUITE 250, BURTONTOWN, MD 20868 TELEPHONE (301)421-4024 NOVA (301)880-1820 BALTO. (301)421-4186					



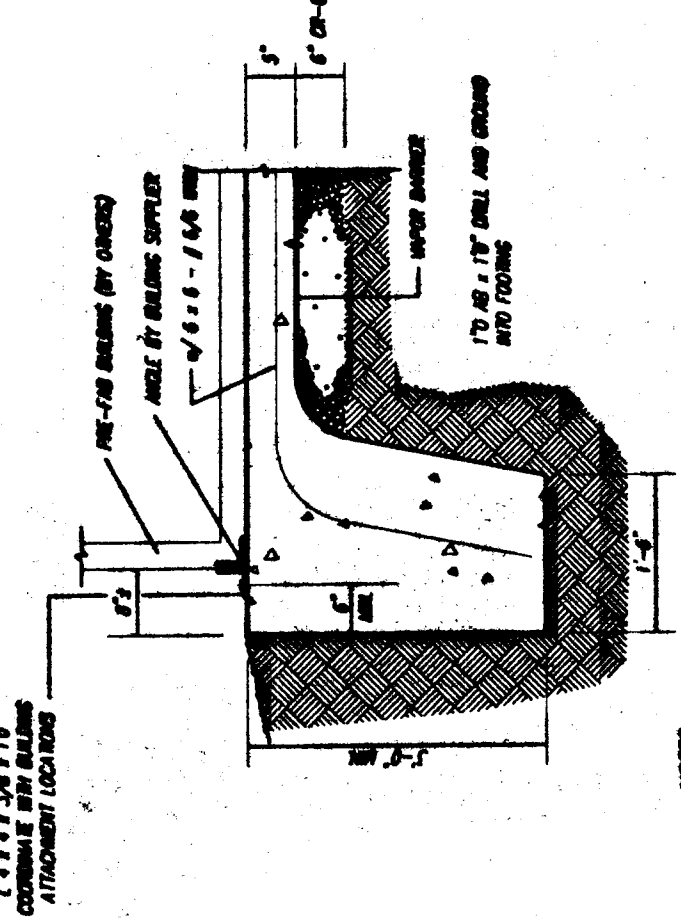


# NOTES

1. SIDEWALK TO BE SLOPED IN 4" INTERVALS
2. 1/2" PRECASTED BITUMINOUS EXPANSION JOINTS TO BE LOCATED 15' ON MAX. EXPANSION JOINTS TO BE 1/4" BELOW SURFACE OF SIDEWALK
3. WHEN SIDEWALK ABUTS CURB, WALL SHALL BE 1/4" ABOVE CURB WITH 1/2" PRECASTED BITUMINOUS EXPANSION JOINT BETWEEN THEM

## CONCRETE SIDEWALK DETAIL

NOT TO SCALE

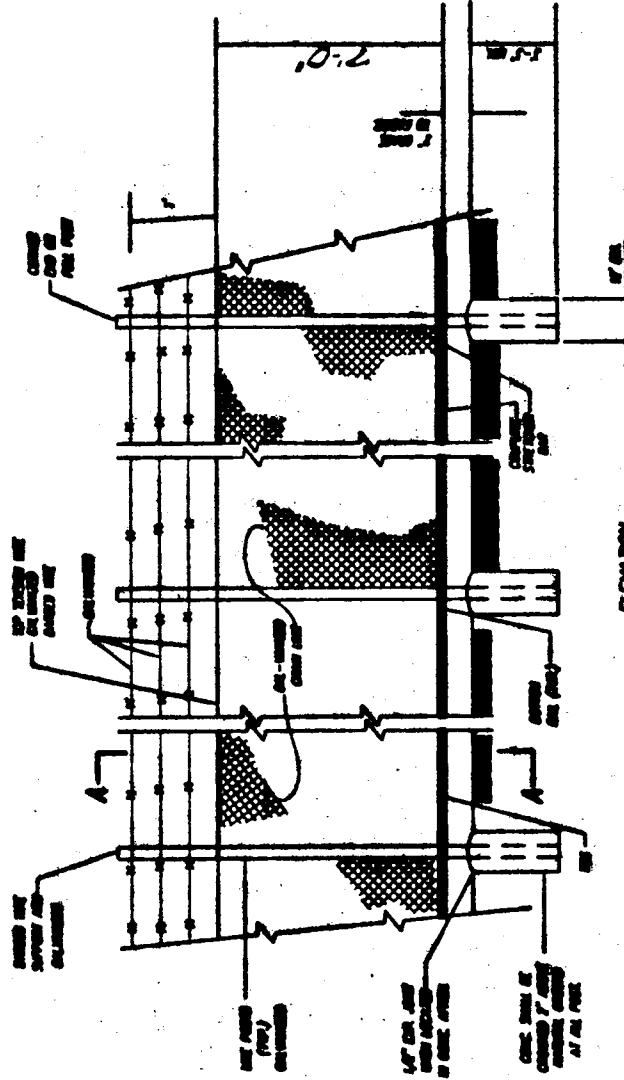


# NOTES

1. SEE BEARING CAPACITY OF 3000 PSI USED FOR FOUNDATION DESIGN
2. PROVIDE A 3/4" DIA. REINFORCING BARS TO BE SET IN 12" DIA. HOLES IN CONCRETE
3. PROVIDE 1/2" DIA. REINFORCING BARS TO BE SET IN 12" DIA. HOLES IN CONCRETE
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## SLAB AND FOUNDATION DETAIL

NOT TO SCALE



# NOTES

1. PROVIDE 1/2" DIA. REINFORCING BARS TO BE SET IN 12" DIA. HOLES IN CONCRETE
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# SECTION 1-1

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS  
3808 NATIONAL DRIVE, SUITE 250 - BURTONTOWN, MD 20886  
TELEPHONE (301)421-4024 NOVA (301)880-9524 BALTO (301)421-4186

DATE: 2-28-97  
BY: [Signature]  
APPR.: [Signature]

REVISION: [Signature]

Total Disturbed Area = 1,200 square feet ±

PREPARED FOR:  
Culligan Corp.  
1100 S. Main Street  
Baltimore, Maryland 21202  
Attn: John H. Hester

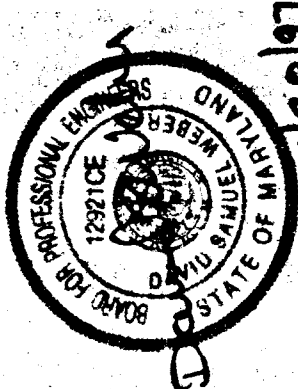
Plan to accompany Building Permit Sheet 2 of 2  
Site Plan and Detail Sheet

Property of  
**Baltimore Gas and Electric Company**  
Parcel 574  
Seventh Election District  
Baltimore County, Maryland

DESIGN: T.M.L.  
DRAWN: E.B.  
CHECKED: C.H.K.

SCALE: 1" = 10'  
ZONING: RC-5  
TAX MAP NO.: 04  
DATE: January, 1997  
SHEET: 3 of 3  
G.L.W. FILE NO.: 97-001

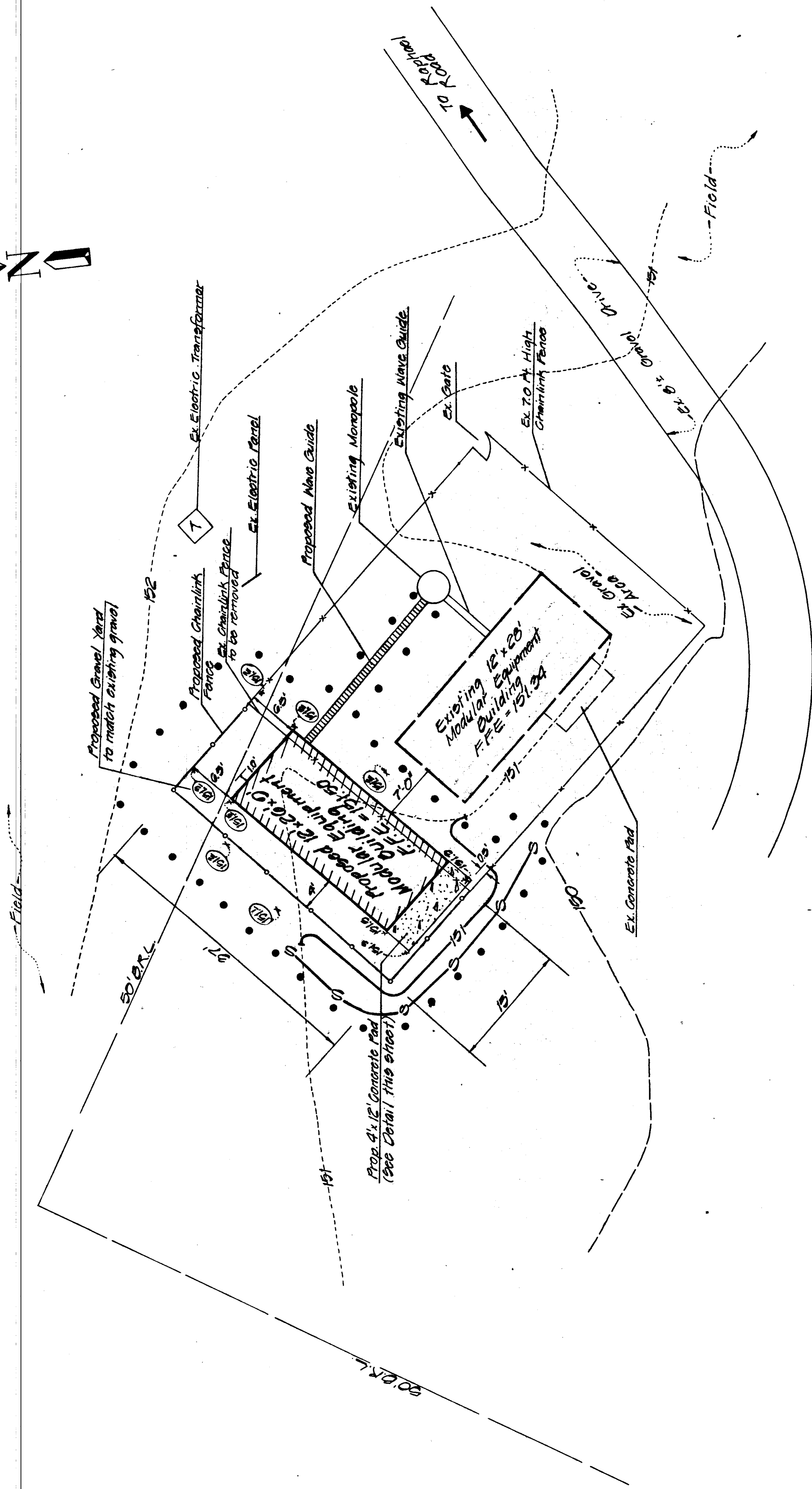
Upper Falls  
Site No. 808



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FEB 26 1997  
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## Legend

- Existing Contour
- Proposed Contour
- Existing Fence
- Proposed Fence
- Limit of Disturbance
- Silt Fence
- Proposed Spot Shot
- Existing Spot Shot



Inset Detail  
Scale: 1" = 10'

48 HOURS

Before You Dig

Call

"MISS UTILITY"

Service Protection Center

1-800-257-7777

FOR CELLULAR USE ONLY

GENERAL INFORMATION

Project No.

Site Address

County/Agency

PERMIT NO.

Issued/Valid Date

Issue/Valid Date

Contract

MEMBER

ONE CALL SYSTEMS

CALL TOLL FREE

1-800-257-7777